

RESIDENTIAL DESIGN GUIDELINES

Updated December 2018

southatseafordmeadows.com.au



Congratulations on purchasing land for your new home at Seaford Meadows.

We have developed these Design Guidelines to help you feel at home when selecting a house design. The purpose of the Guidelines is to safeguard the future of your asset – your home.

The Guidelines will take you through the process of selecting a design for your home to gaining the necessary approvals and the construction phase.

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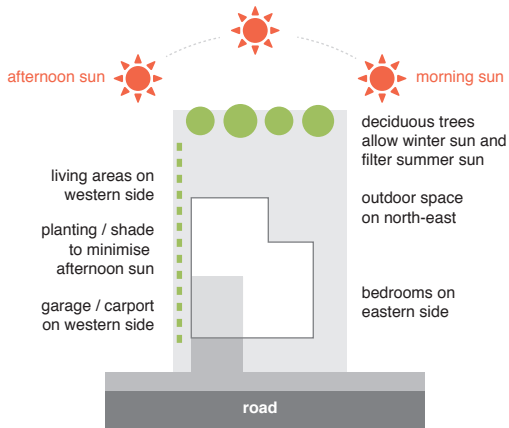
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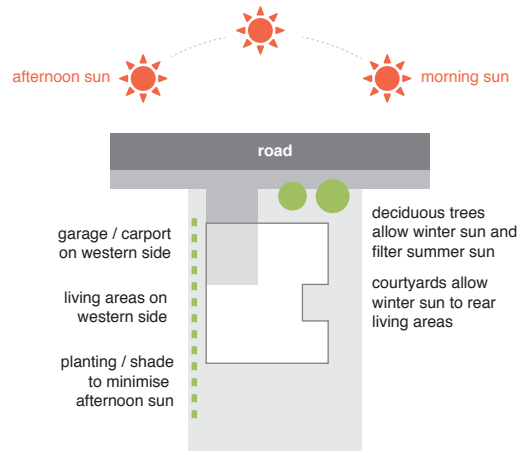
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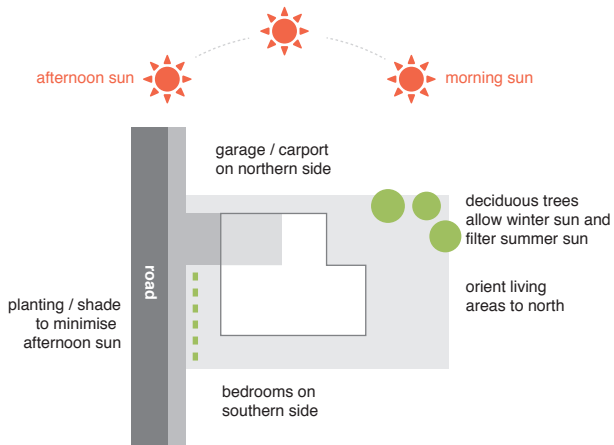
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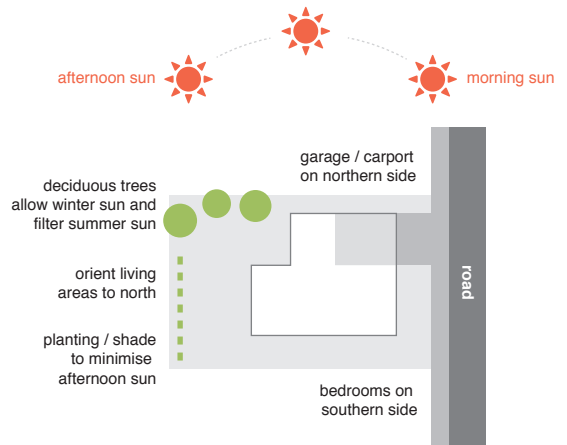
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Introduction

There's more to the design of a home than you first may think.

Thinking about your new home

Selecting the right design for your home requires you to carefully consider issues such as:

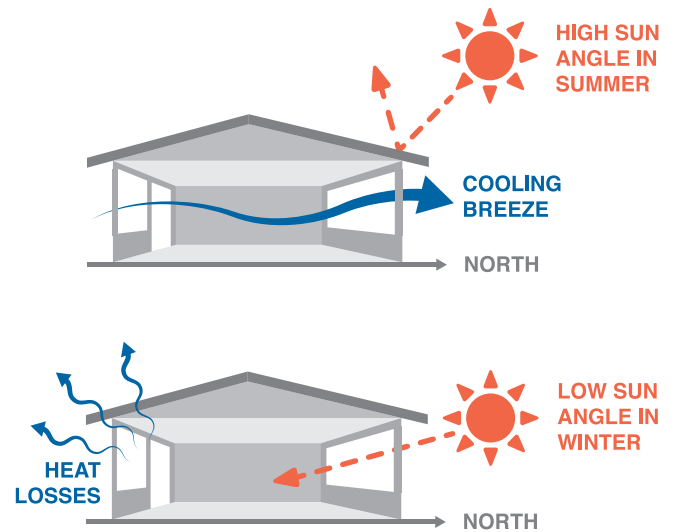
- orientation of the allotment
- appearance and style of your home
- internal layout of your home's rooms to take advantage of the sun
- materials to be used

The information in these Guidelines must be followed if your proposed new home is to be approved by the Encumbrance Manager.

To ensure that your lifestyle and investment are protected, we have placed requirements on the location, scale and height of homes on each allotment in Seaford Meadows.

Good design is not just about good looks.

It's also about having living areas and bedrooms in the best location that is both functional and can save on energy costs. See the diagrams on the previous page which provide guides for the layout of dwellings for Lots which are oriented in the four main directions (North, South, East and West).



Design requirements

2.0 Building envelope plan

A Building Envelope Plan has been prepared for each individual allotment and identifies the area in which a dwelling maybe sited.

In particular they indicate the following:

- the minimum building setback required from the street boundary (or boundaries, where an allotment has more than one street frontage).
- the minimum building setbacks required for side and rear boundaries
- the minimum building setbacks required for single and two-storey development
- zero lot line allocations indicate where garages/carports can be built on boundaries of most allotments
- minimum front setback 3m, unless otherwise indicated on the Building Envelope Plan

The Building Envelope Plan for each allotment is shown on the detailed Allotment Development Plan attached to this document. The Allotment Development Plan forms part of these Guidelines.

A dwelling must be sited within the Building Envelope as to satisfy the other requirements as described in these Guidelines. Buildings which encroach outside the Building Envelope will not be approved.

On most allotments a dwelling may be built on the boundary (zero lot line). Where this is permitted the maximum length of the wall on the boundary is 12.0m.

The Building Envelopes state the minimum setback requirements. Requirements of the City of Onkaparinga Development Plan need to be complied with in particular to site coverage, vehicle parking and private open space.

Garages are to be setback a minimum of 5.5m from the front boundary.

2.1 Loft Dwellings

For some designated Lots that front Grand Boulevard, South Pacific Drive and Prow Drive. it is possible to build a loft above the garage (access via the rear lane). These dwellings must be either studio or one bedroom only.

They may either be a granny flat or teenager's retreat as part of the main dwelling or they may be a separate building and can be on a separate community title.

2.2 Private Open Space

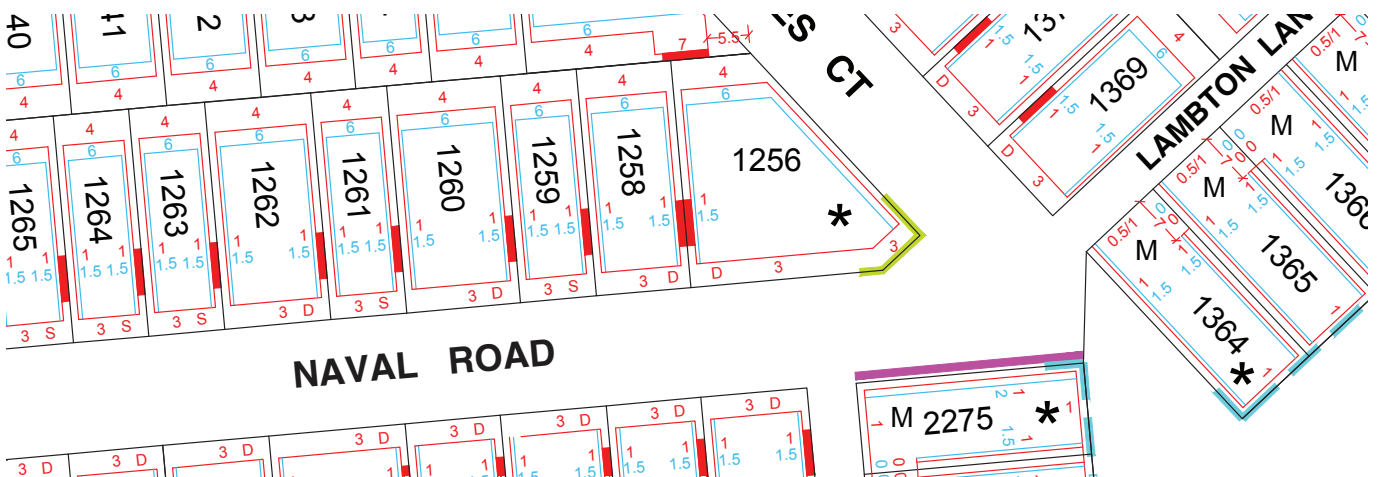
Each dwelling on an allotment that is less than 300sqm must provide at least 24sqm of private open space. One part of the space must be directly accessible from a habitable room and be at least 16sqm with a minimum dimension of 3m. A balcony of 8sqm (minimum dimension of 2m) may be part of the 24sqm.

Each dwelling on an allotment between 300 and 500sqm in size must provide at least 60sqm of private open space. One part of the space must be directly accessible from a habitable room and be at least 16 sqm with a minimum dimension of 4m. A balcony of 10sqm (minimum dimension of 2m) may be part of the 60sqm.

Each dwelling on an allotment greater than 500sqm must provide at least 80sqm of private open space. One part of the space must be directly accessible from a habitable room and be at least 24 sqm with a minimum dimension of 4m. A balcony of 10sqm (minimum dimension of 2m) may be part of the 80sqm.

For residential flat buildings and group dwellings that are above two storeys the following amounts of private open space must be provided in the form of a balcony that is directly accessible from a habitable room:

- studio no minimum needed
- one bedroom 8sqm (2m minimum dimension)
- two bedroom 11sqm (2m minimum dimension)
- three bedroom 15sqm (2m minimum dimension)



2.3 Height

No detached dwelling may contain more than three storeys. The maximum height of a detached dwelling must not exceed 12.0m above natural ground, as measured directly below that point of the dwelling.

2.4 Carparking and Driveways

On site carparking spaces must be provided at least at the following rate:

- one bedroom dwelling - 1 space
- two or more bedroom dwellings - 2 spaces minimum

One space must be covered. Additional carparking spaces may be uncovered and located on the driveway immediately in front of the garage or carport and within the allotment boundaries.

For designated “Affordable Housing” projects, one less carparking space may be provided onsite. A minimum of one space must be provided.

Driveway access locations to each allotment have been predetermined as shown on the relevant Building Envelope Plan. Land SA will provide a paved crossover from the kerb to the front boundary.

Driveway widths should not exceed 3m for a single garage/carport and 6m for a double garage/carport driveway. A double driveway should taper in width from a maximum of 6m to 4m at the property boundary. The only exception to this requirement is for garages/carports that front a rear access lane.

The location of driveways (i.e. which side of the allotment) have already been determined during the civil design stage. They need to be taken into account when designing the dwelling and cannot be changed.

Garages and carports should either be under the main roof or complement the roof form and materials of the house. Garages and carports must be setback at least 5.5m from the street property boundary to enable a car to park in the driveway. The only exception to this requirement is for garages/carports that front a rear access lane where the setback requirement is 0.5m. Garages/carports accessing a rear lane must have an access (roller) door that is at least 3m wide to ensure ease of manoeuvrability.

For designated medium density allotments, carparking spaces for visitors are to be provided on site unless Council approves otherwise.

2.5 Appearance

Seaford Meadows has been designed to have an appearance of a more traditional Adelaide suburb. Land SA encourages design of high quality houses including design that exhibits diversity and innovation.

Houses on corner lots and with a side boundary to a reserve must be designed to address both street frontages. This assists with improving the passive surveillance of both streets (or street and reserve).

To achieve this the following must be provided:

- A vertically proportioned window (at least 0.6m wide) to a habitable room must be provided in the front room of the dwelling facing the secondary street or reserve (see W on diagram right).
- Any fencing on the secondary street boundary must be of a front fence type within 10m of the intersection.
- Allotments that have a boundary adjoining a public reserve must have the house front the reserve.
- The façade of the house must have an engaging and attractive appearance when viewed from the reserve and the street.

2.6 Recreational and Commercial Vehicles

If you plan to have a boat, caravan or commercial vehicle accommodated on the allotment they must be parked where they cannot be seen from the street (other than a rear access lane). Caravans, boats, trailers, trucks, vans and other similar vehicles will not be permitted to be parked forward of the building line.

The parking of a vehicle in excess of 3000kg (including the weight of any attached trailer) on an allotment is not permitted.

2.7 Building Materials

External walls of homes should be constructed from the following range of materials:

- brick
- cement rendered concrete
- stone
- timber panelling
- rendered fibre cement sheet

Infill (secondary) areas of walls utilising painted weatherboard, cement sheet, stucco, Colorbond, galvanised iron or timber panelling may be approved subject to design merit.

Roof materials should be selected from Colorbond, tiles, slate, cement shingles or galvanised iron. Roof pitch should be a minimum of 25 degrees. Flat roof elements including porticos, verandahs etc. may be approved subject to design merit.

2.8 Privacy

The approach outlined in these Guidelines is aimed at providing acceptable solutions for both the owners of two storey homes who may wish to take advantage of mid and long distance views and owners of adjacent properties who are entitled to certain levels of privacy. There are a range of design methods that can provide appropriate levels of privacy.

These include:

- the location, size and orientation of windows
- type of glazing
- raised window sill heights
- external screens and awnings, etc.
- landscaping (evergreen)

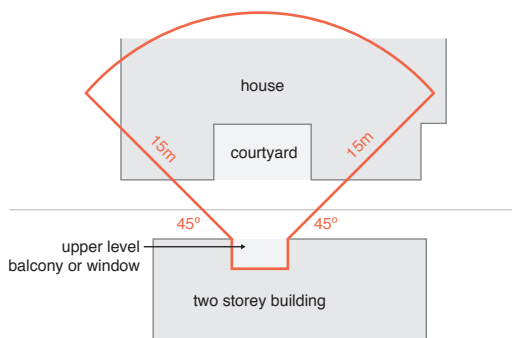
The diagram shown below indicates that an upper storey window or balcony must undertake treatment, as indicated above, if the 15m radius view field looks into an adjoining property's private open space or habitable room window. Upper storey windows on front elevations of dwellings are exempt so long as they do not have a view of adjoining private open space.

Where treatment is required:

windows must have

- a minimum sill height of 1.7m or
- fixed opaque glass to a height of 1.7m or
- fixed louvres to a height of 1.7m

a balcony must have screens to avoid views into the 15m deep view field.



2.9 Outbuildings and External Fixtures

Outbuildings include structures such as sheds, workshops, aviaries (separated from the dwelling) and similar buildings should be Colorbond not galvanised iron.

Outbuildings must be 1.0m from all boundaries and at least 6m from a secondary road frontage (other than a rear access lane where 0.6m minimum applies).

The maximum size for outbuildings is determined by the site coverage limit and the private open space requirement.

Outbuildings should not unreasonably overshadow or block light from the windows on an adjoining allotment's dwelling. It should be finished in materials and colours that match the fencing materials or the dwelling on the site.

Clotheslines should be sited unobtrusively and away from public areas.

Solar water heaters and photovoltaic cells that create power and are connected to the grid are encouraged. However, they must not be unduly visible from the primary road. If the northern facing portion of the roof faces a primary or secondary road then only the solar cells are permitted on that portion of the roof. The water container (bullet) must be hidden from public view (on the ground, in the ceiling or on an unseen portion of the roof).

Air conditioners can cause discomfort to neighbours, thus their location should be selected with care. Evaporative air conditioners should be located below the ridge line of the roof and be of a neutral colour or match the roof colour. They must be located so as not to be visible from the primary road frontage. Reverse cycle air conditioning units should be located away from adjoining house's habitable rooms in order to minimise noise disruption.

Antennae (including satellite dishes) must be located within the roof space or not be visible from the road.

2.10 Environment

All houses must achieve an energy efficiency rating of 6 stars or greater which is now mandatory across South Australia.

Solar hot water systems and photovoltaic cells that create electricity for use in your home and are connected to the grid are encouraged.

High energy use, non-recyclable or toxic materials are discouraged in the construction of all houses.

Each house must be connected to a standard (SA Water) water supply for drinking and washing in addition to the non potable water system supply which is for the toilet, watering the garden and washing the car. Separate meters are required for each dwelling.

Tapware throughout the dwelling, including showerheads, must be at least AAA- rated (low flow). Toilets must be AAAA-rated dual flush water closets which have 4.5/3.0 litre capacity.

2.11 Fencing

Front fencing is required to allotments fronting Grand Boulevard and will be provided by the Developer, Land SA, maintained to a high quality by the owner. Rear and side fence must be Paperbark Colorbond. Front fencing is optional for all other allotments. If front fencing (including side boundary fencing in front of the main facade of the house) is installed then it should be:

- no more than 1.2m high if constructed of solid materials
- of open style construction if greater than 1.2m high
- no greater than 1.5m high

Rear and side boundary fencing should be no higher than 1.8m. No fencing is to be constructed of brush, galvanised iron or zincalume. Front fences must be approved by the Encumbrance Manager.

On corner allotments fencing on the secondary street must be front fence type for the first 10m back from the corner.

For Lots fronting Grand Boulevard the rear fence must angle from the garage at 45 degrees to the property boundary to provide sight distance when exiting the garage.

2.12 Retaining Walls

Where necessary they must be constructed prior to the occupation of the house and are of materials that complement the natural environment. No retaining wall should be greater than 1.5m in height.

2.13 National Broadband Network

Stages 5 - 16 will have optic fibre to the home infrastructure provided by NBNCo. There are requirements each builder must comply with in order for additional expense and delays to be avoided to gain the service.

Please visit www.nbnco.com.au for more information.

Approval Process

When you purchase an allotment of land at South at Seaford Meadows an Encumbrance is attached to the Certificate of Title. This requires that prior to any development occurring on site, approval must be sought and obtained in writing from the Encumbrance Manager. Approval from the City of Onkaparinga must be sought and obtained. The Design Guidelines must be considered in conjunction with the City of Onkaparinga's Development Plan.

If you are unsure of whether or not the proposed dwelling meets the requirements of the Design Guidelines, a sketch plan should be prepared and submitted to the Encumbrance Manager for preliminary discussions prior to final drawings being prepared. This will streamline the approval process and avoid additional detailed design costs.

The Encumbrance Manager has the power to approve a proposal that does not conform with the Design Guidelines, however the City of Onkaparinga must also approve the non-conforming aspects of the proposal.

Applications for approval under the provisions of the South at Seaford Meadows Design Guidelines should be forwarded to:

**Attention: South Encumbrance Manager,
Land SA Pty Ltd,
PO Box 187, Hindmarsh SA 5007**

The following documents are required to be submitted in order for the Encumbrance Manager to assess and approve your proposed house:

Three copies of the following plans on A1 or A3 paper:

- site plan (site contours, extent of Building Envelope, house siting, dimensioned setbacks (min 1:200 scale), proposed earthworks, retaining walls, crossover location, driveway, stormwater disposal;
- floor plans (1:100 scale);
- elevations (1:100 scale);

As well as:

- an area schedule showing floor area of the various parts of the building and its compliance with the site coverage provision;
- a schedule of external colours, materials and fencing
- an Erosion and Sediment Control Management Plan; and
- front fence details (if applicable)

The Encumbrance Manager will:

- undertake the assessment process, which may involve contacting you or your builder/architect to discuss and resolve any issue.
- provide written approval with stamped sets of plans.

Two sets of plans will then be sent to the applicant (owner or their agent, eg. builder)

The remaining set of plans will be retained by the Encumbrance Manager.

Under no circumstances should plans be lodged with the City of Onkaparinga prior to written approval being issued by the Encumbrance Manager.

Building Your Home

No-one likes living in a continuous construction area.

The first few years of any residential community can be disruptive for everyone. You must substantially commence construction within 12 months of settling your allotment. Front yard landscaping must be completed within 6 months of occupation of your home.

To maintain as high a quality of life as possible during the construction phase, we request that all owners and their builders follow the requirements described in the section below.

4.1 Vehicle Access

Vehicle access must be made via internal roads as opposed to driving across adjoining Lots/vacant land. During construction vehicles should not be parked on the verge/footpath area. Vehicular access to Lots fronting Grand Boulevard must occur from the rear lane or side street.

4.2 Site Control

The Lot must be regularly and frequently maintained and kept clear of excess weeds, rubbish and building waste.

4.3 Stock Piles

Stock piles and building materials must be located on the Lot and positioned in a neat and tidy manner and any excess to be removed within 1 month of occupation.

4.4 Building Waste

All building waste must be stored in a bin which is emptied on a regular and frequent basis. The bin must be located on the Lot. Accidental spills of soil, materials or waste outside of the Lot must be removed immediately.

4.5 Stormwater

Pollution of the stormwater drainage network from your building site must be avoided. Implementation of an Erosion and Sediment Control Management Plan in accordance with your Development Approval is mandatory. The following measures must be put in place:

- installation of sediment controls on low side of Lot
- early connection of roof water downpipes to Lot stormwater system
- trapping of run-off from tool and paint washing, brick and tile cutting and other wet activities.

4.6 Amenities

Portable toilets are to be located within the Lot and adequately fixed to the ground. They must not be placed in the road, verge, adjoining Lots or reserves.



Landscaping

Successful establishment of a landscape provides a significant contribution to the appearance of a suburb and the liveability of the area for its residents.

The Developer, Land SA, will be undertaking extensive landscaping to streetscapes and parks to provide a high degree of amenity for residents. This will be delivered by utilising a range of attractive yet robust trees, shrubs and groundcovers.

In addition to these public areas, residential gardens further assist in reinforcing the imagery of an estate as well as providing a setting for individual dwellings and adverse weather conditions.

At South at Seaford Meadows, analysis of the soil type has been undertaken. Irrigation of gardens (front and rear) will occur using Class A water from the reclaimed water supply (lilac pipe system).

This water has slightly higher salinity levels than the normal SA Water mains water. With these two issues, Land SA's landscape architects have prepared a list of plant types that are suitable for your Lot.

Front Garden

Much of the presentation of a house relies on the landscape development to the front garden. The development of your garden needs to consider key issues such as water use, existing conditions (soil, weather, etc) and other issues such as pest plants and maintenance commitments.

When developing your garden consider the following:

- utilise tree and shrub species that complement the height and scale of your house, i.e. plant larger trees for a two-storey house
- maximise the use of garden beds to create a 'soft' appearance to the garden
- minimise the amount of lawn area to reduce water and fertiliser usage. Consider using alternatives such as native grasses and low groundcovers
- ensure any planting does not impinge on the footpath area and restrict access for pedestrians
- ensure pathways and other hard elements are logically sited and minimised in extent to limit storm
- water run-off and construction costs.

Existing Soils

Whilst not extensive in depth, the topsoil throughout South at Seaford Meadows will provide ideal growing conditions provided key actions are implemented. During civil construction, the site topsoil has been salvaged and re-spread over the site and consists of dark brown loamy clay. Whilst heavy in structure it will offer good moisture retention properties.

As outlined, the soils are highly alkaline and as such some species will not survive unless significant soil conditioning is undertaken. It is far better and cheaper to modify your species selection rather than undertake significant re-working of the soil.

A list of suggested species is attached and selecting from this will ensure a degree of consistency and cohesiveness through South at Seaford Meadows. Local nurseries will also be able to provide further information on species selection.

The pH level of the soil is alkaline and fertiliser levels are low. Whilst adequate for planting of natives, particularly those of local origin, improving the soil will benefit any plant growth. We recommend you seek specialist advice from a local nursery but as a guide allow to:

- cultivate the topsoil to a depth of 300mm to ensure it is free draining
- add organic matter and work into the soil
- depending on your plant selection, consider adding a phosphate-based fertiliser (adjust according to Manufacturer's instructions and species selected).

Beneath the topsoil layer is subsoil material which is less hospitable to planting. This material contains large amounts of lime and will restrict root growth. It is important to ensure that this subsoil material (evident by a change in colour from light brown to white/yellow clays) is not mixed in with topsoil.

If possible as part of your landscaping works, it is best to cultivate this subsoil to ensure it is not compacted and add composted organic matter added prior to placing topsoil. This will ensure that strong root growth into the subsoil can be achieved. If unsure of what is required take a soil sample to your local nursery for pH testing and analysis.

Plant Selection

Due to the prevailing soil conditions and proximity to the coast with its typically salt-laden winds, correct plant selection will be critical to the success of your garden. It is essential that the species selected are appropriate for the site to ensure strong growth and minimise ongoing maintenance and resource use such as water, fertiliser, etc.

Rear Garden

Generally the rear garden area is larger than the front and allows for larger tree and shrub species to be planted.

The design for these spaces should also include seating and outdoor eating areas to maximise the usability of the space. You should also ensure to establish plants to screen fences and sheds and that they are also large enough to provide a canopy that maximises your privacy by screening adjoining dwellings.

Service areas (clothes drying areas, bin storage, etc.) should be located so as not to be visible from the street and/or house and are screened from view.

5.1 Residential Gardens Suggested Planting List

FRONT GARDENS

Small trees

Callistemon viminalis 'Hannah Ray'	Weeping Bottlebrush
Corymbia ficifolia	Red Flowering Gum
Cupaniopsis arancoides	Tuckeroo
Eucalyptus torquate	Coral Gum
Koelreuteria paniculate	Golden Rain Tree
Lagerstroemia hybrids	Crepe Myrtle

REAR GARDENS

Trees

Agonis flexuosa	Willow Myrtle
Banksia integrifolia	Coast Banksia
Eucalyptus scoparia	Wallangarra White Gum
Gleditsia tricanthos 'Shademaster'	Honey Locust
Jacaranda mimosaeifolia	Jacaranda
Pyrus calleryana cultivars	Ornamental Pear
Sophora japonica	Japanese Pagoda Tree
Ulmus parvifolia	Chinese Elm

FRONT & REAR GARDENS

Shrub Planting

Agonis fl exuosa 'Nana'	Dwarf Willow Myrtle
Alyogyne huegelli	Native Hibiscus
Callistemon 'Little John'	Dwarf Bottlebrush
Cistus ladaniferus	Rock Rose
Correa pulchella	Native Fuschia
Grevillea lanigera 'Mt Tamboritha'	Dwarf Woolly Grevillea
Leucophyta brownii	Cushion Bush
Metrosideros dalese	Dwarf NZ Christmas Bush
Metrosideros 'Tahiti'	Dwarf NZ Christmas Bush
Nandina domestica 'Moon Bay"	Sacred Bamboo
Syzygium australe 'Select Form'	Dwarf Lillypilly
Westringia fruticosa	Coastal Rosemary

Clumping Plants

Carex buchannii	Carex
Carex petreii	Cultivar Flax Lilly
Dianella caerulea 'Cassa Blue'	
Dianella revoluta 'Little Rev'	
Dwarf Flax Lilly Cultivar	Isolepis nodosa
Knobby Club Rush	Lomandra katrinus
Lomandra cultivar	Lomandra 'Tanika'
Phormium sp	Dwarf NZ Flax
Yucca gloriosa 'Bright Edge'	Yucca

Ground Covers

Brachycombe multifida	Cut Leaf Daisy
Convolvulus mauritanicus	Morning Glory
Hardenbergia violacea	Native Lilac
Myoporum parvifolium	Creeping Boobiella
Rhagodia spinescens var deltophylla	Creeping Saltbush
Rosmarinus 'Blue Lagoon'	Prostrate Rosemary
Scaevola 'Mauve Clusters'	Fan Flower

Native Grasses

Danthonia caespitose	Common Wallaby Grass
Festuca glauca	Blue Grass
Stipa elegantissima	Elegant Spear Grass
Poa poiformis	Coast Tussock Grass
Themeda triandra	Kangaroo Grass

This list is intended as a guide only and is to illustrate the general design intent of the proposed landscape development.



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